

PROPOSED RESIDENTIAL DEVELOPMENT
PLANNING, DESIGN & ACCESS STATEMENT
LAND TO THE NORTH OF MOORFIELDS,
WILLASTON

Ref: 13010 DAS 01 Date: August 2013

MPSL



MPSL Planning and Design Ltd

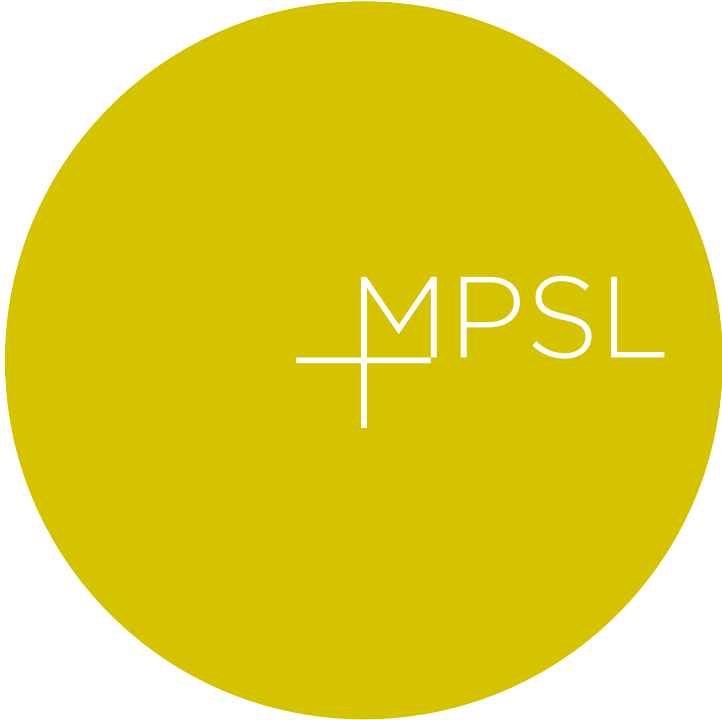
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LAND TO THE NORTH OF MOORFIELDS, WILLASTON

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LAND TO THE NORTH OF MOORFIELDS, WILLASTON

INTRODUCTION

This Design and Access statement has been prepared on behalf of Richborough Estates to support the outline planning application for a residential development comprising of up to 170no. residential properties, with associated parking off land to the north of Moorfields, Willaston.

The Design and Access statement has been prepared in accordance with the CLG publication 'Guidance on Information Requirements and Validation' - Section 6 March 2010, and in accordance with the planning application validation requirements of Cheshire East Council (V4).

The statement will also act as a review of supporting statements and design, which are listed below.

- Affordable Housing Statement
- Air Quality Assessment
- Agricultural Land Quality Assessment
- Amphibian and Reptile Method Statement
- Badger Survey
- Ecological Appraisal
- Ecological Mitigation Strategy
- Flood Risk Assessment
- Hedgerow Survey and Assessment
- Heritage Assessment
- Phase 1 Site Investigation
- Planning Statement
- Protected Species Assessment
- Landscaping and Visual Impact Assessment
- Socio-Economic Report
- Statement of Community Involvement
- Topological Survey
- Transport Assessment
- Travel Plan
- Tree Survey
- Utilities Report



Aerial view of the site (red edge) looking north.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

CONTEXT APPRAISAL

Site Location



Key

Proposed development site

The site is sustainably located on the eastern side of Willaston, which lies 3.3km to the north east of Nantwich town centre, within the Crewe suburb.

The site is defined as Green Gap and Open Countryside within the Crewe and Nantwich Local Plan, and abuts the current residential urban boundary.

The development site is within easy reach of various schools namely, Willaston Primary School, Willaston Playgroup and Wistaston Church Lane Primary School.

Other local facilities within walking distance of the site are Public Houses, Convenience Store, local takeaway and Wells Green Post Office.

The A500 provides access to junction 16 of the M6 motorway which is located approximately 8.0 miles away from the site. Nantwich Train Station is also located approximately 2.1 miles away from the site offering sustainable transport links.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

CONTEXT APPRAISAL

Landscape Context

Landscaping

The Landscape and Visual Impact Assessment has identified that the landscape character of the site and its surrounding context is of medium sensitivity, refer to report which is included within the application submission reference BIR.4206.

Hedgerow

A hedgerow survey and assessment has also been carried out to support the application, this details the hedgerow which hold significant value and should be retained within the proposed scheme (refer to the adjacent plan) along with the mitigation proposed, refer to the hedgerow Survey and Assessment report for further details.

Ecology

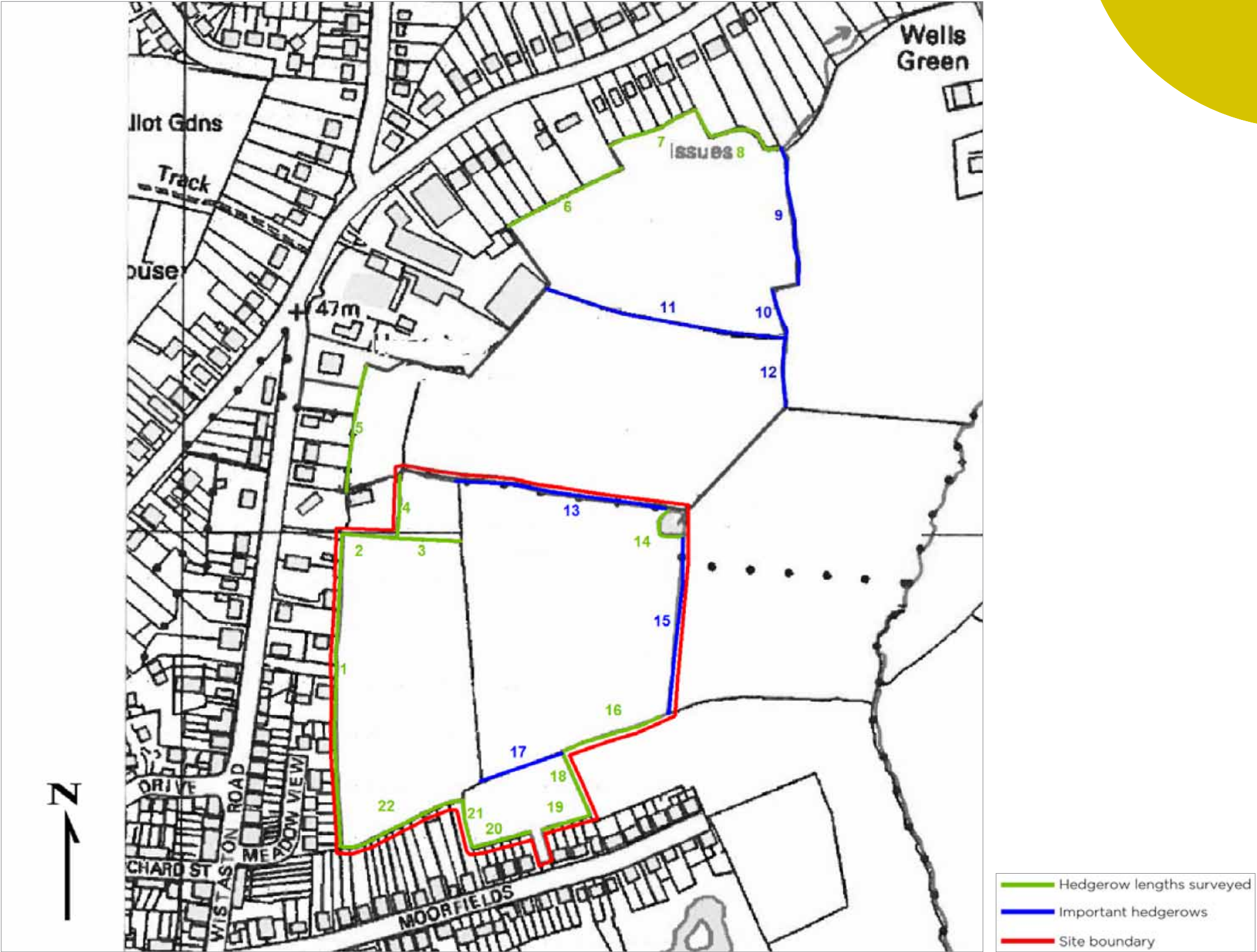
The Ecology assessment has identified the following habitats which are currently present on site;

- Amenity grassland;
- Hedgerows;
- Improved grassland;
- Poor semi-improved grassland;
- Running & standing water.
- Scattered trees;
- Scattered scrub; and
- Tall ruderal vegetation.

Refer to Ecology Mitigation Strategy for further details on the above habitats.



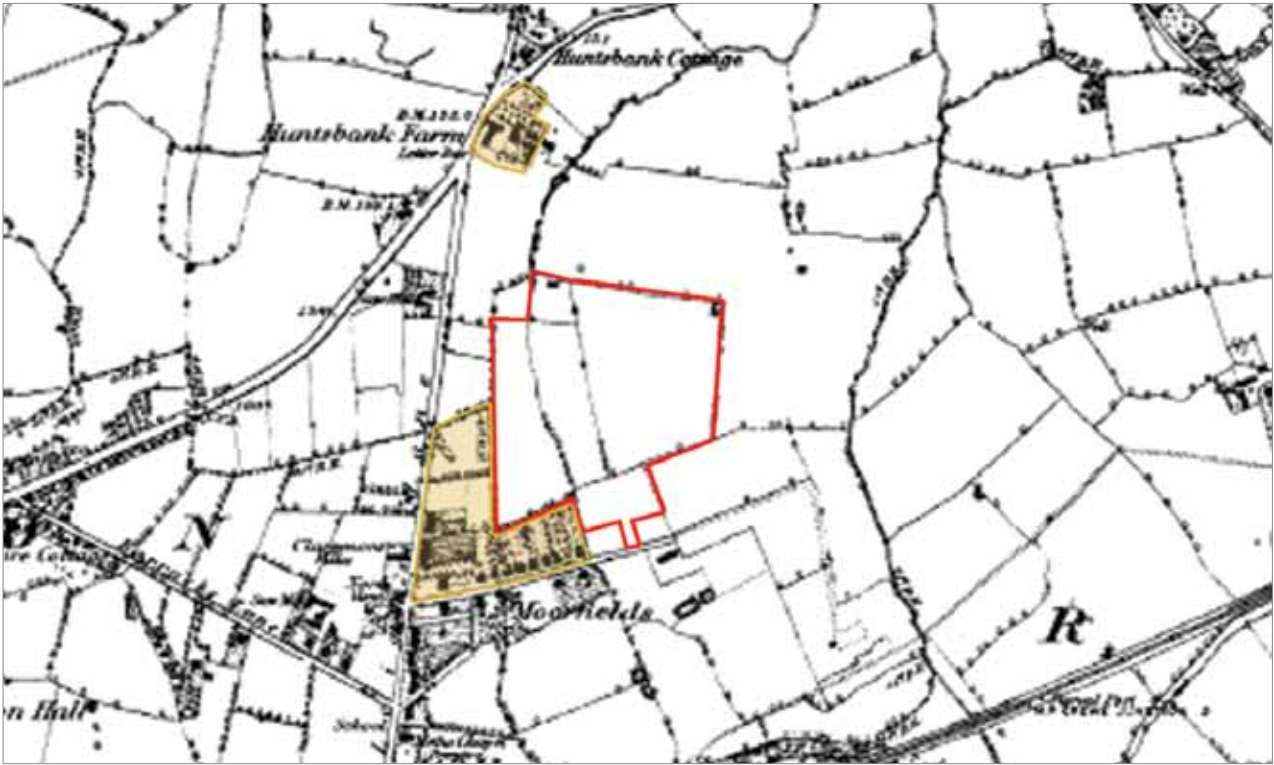
Above: current site vegetation.



Above: plan 1 of the Hedgerow Survey and Assessment.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
CONTEXT APPRAISAL
Historic Character of Wheelock

The following historic maps identify the proposed development site, and how the urban boundary of residential settlement has expanded throughout the years. This is shown via the orange shading.



Historic Map 1882



Historic Map 1938.



Historic Map 1968.



Historic Map 1990 - 1993.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
CONTEXT APPRAISAL
Built Character

When reviewing the existing context of the proposed development, we have identified existing character areas which will inform the design and density of our proposal.



The above plan identifies the built character area which adjoins the site, and provided context to the initial sketch stages of our proposal.

Area 1 - Mixture of detached, semi-detached and terrace properties in a linear form.

Area 2 - Mixture of detached and semi-detached properties in a more informal form.

Area 3 - Terrace properties in a linear form.

Area 4 - Medium density detached and semi-detached properties in a linear form.



Modern housing on Moorfields.



1930's housing on Moorfields.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
CONTEXT APPRAISAL
Built Character



Semi-detached properties on Moorfields.



Detached on Wistaston Road.



Victorian detached on Wistaston Road.



Victorian terraces on Wistaston Road.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
CONTEXT APPRAISAL
Existing Character Area



Character Area 1

The built character of Moorfields to the south and Wistaston Road to the west is generally formal and linear in arrangement of semi-detached and detached 2 storey houses.

A snapshot of this area shows medium density at approximately 14.1 UpA.



Character Area 1

The adjacent image provides an example of the linear form along Moorfields.



Character Area 2

Basset Close further west of Wistaston Road, is generally less formal in its arrangement of detached properties.

Density is again medium at circa 9.2 UpA.



Character Area 2

The adjacent image provides an example of recently constructed estates and the more informal form on Basset Close.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

CONTEXT APPRAISAL

Existing Character Area



Character Area 3

The southern built character of Wistaston Road is generally formal and linear in arrangement of terraced 2 storey houses.

A snapshot of this area shows medium density at approximately 18.4 UpA.



Character Area 3

The adjacent image provides an example of the higher density linear form along Moorfields.



Character Area 4

The northern built character of Wistaston Road is generally formal and linear in arrangement of larger detached 2 storey houses.

A snapshot of this area shows medium density at approximately 7.3 UpA.



Character Area 4

The adjacent image provides an example of the medium density linear form to the north of Wistaston Road.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

DEVELOPMENT PRINCIPLES

Planning Policy Context

The following section reviews national, regional and local policy in relation to design and access to ensure the proposals are in conformity with current policy, guidance and best practice.

National Planning Policy

The National Planning Policy Framework (NPPF) was published on 27 March 2012, coming into immediate effect and replacing almost all previous Planning Policy Guidance notes (PPGs) and Planning Policy Statements (PPSs).

The NPPF (para.14) establishes a presumption in favour of sustainable development, which should be seen as a golden thread running through plan making and decision taking.

In this context, the NPPF (para.7) identifies three dimensions to sustainable development: economic, social and environmental which should be sought jointly and simultaneously through the planning system. Within the overarching roles that the planning system ought to play a set of core planning principles should underpin decision making, including:-

- Promoting sustainable transport
- Delivering a wide choice of high quality homes
- Requiring good design
- Promoting healthy communities
- Meeting the challenge of climate change and flooding
- Conserving and enhancing the natural environment

The NPPF (para.56) states that good design is a key aspect of sustainable development, is indivisible from good planning and should positively contribute to making places better for people. The NPPF encourages applicants to work closely with those affected by proposals to evolve designs that take account of the views of the community. Such development proposals will be looked on favourably (para.66).



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

THE SITE AND ITS CONTEXT

The Site

The site comprises 6.31ha of open grassland, located on the north eastern side of Nantwich and is accessible from the A530 and A500. It borders a well-established residential area to the west and is close to local facilities. The site is boarded by residential properties to its western and southern boundaries, open grass land is located directly to the north and east.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON
THE SITE AND ITS CONTEXT
Visual Character of the Site



Existing access point of Moorfields



Current site view from the south



Current site vegetation



Existing hedge along the south western boundary



Current site view from the south



Current site view from the south

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

THE SITE AND ITS CONTEXT

Site Assessment of Surrounding Area

The plan below identifies the site within its surrounding context, this assessment of the surrounding area identifies surrounding land uses and provided guidance when forming the indicative layout.



Key:

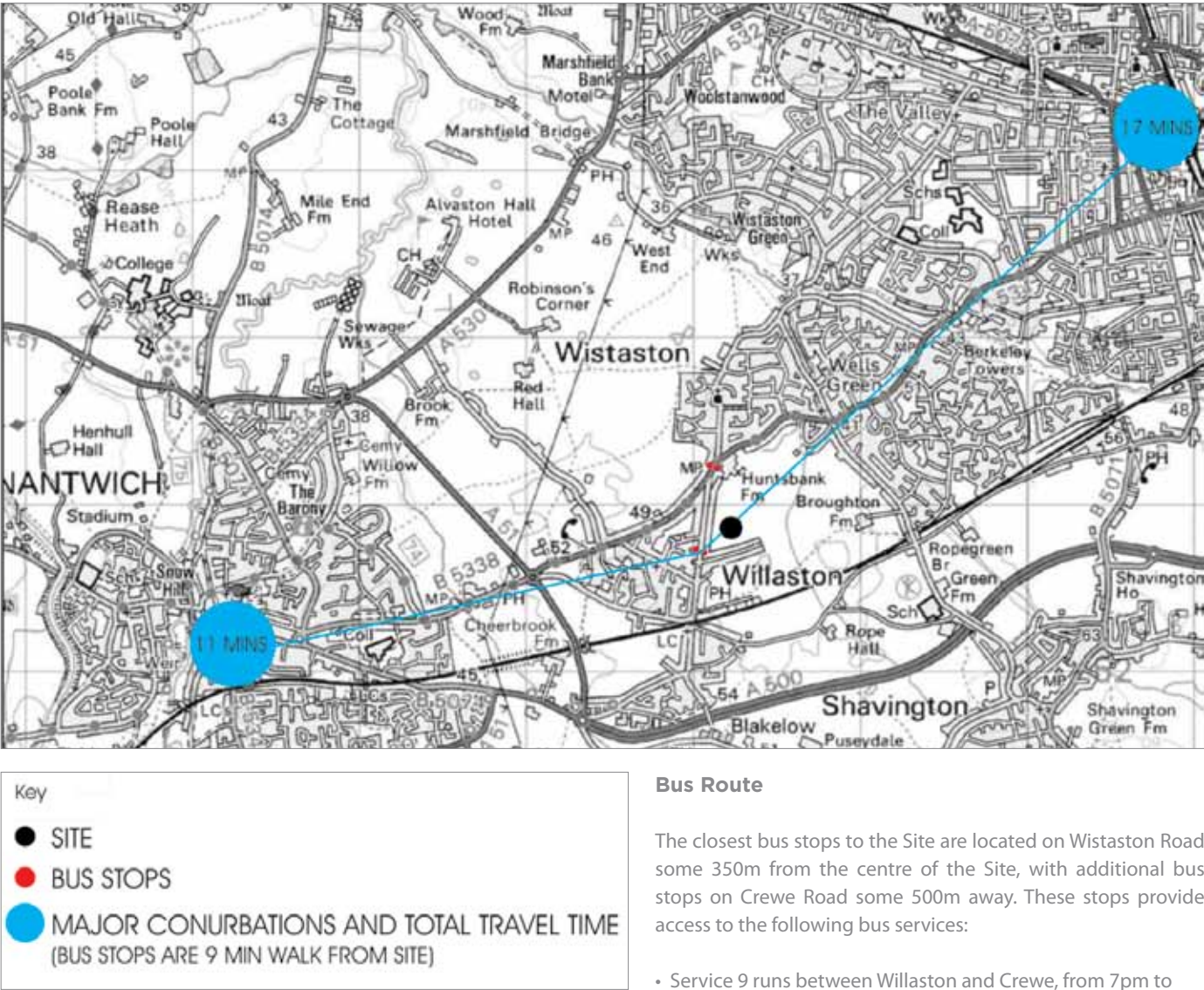
- Proposed Development Site (Red Edged)
- Wistaston Road & Bus Route
- Moorfields
- Local Bus Stops
- Open Space
- Residential
- Commercial Units

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

THE SITE AND ITS CONTEXT

Accessibility of the Site

Bus times plan.



Bus times are based on timetable information from D&G Buses and Arriva.

Local facilities plan.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

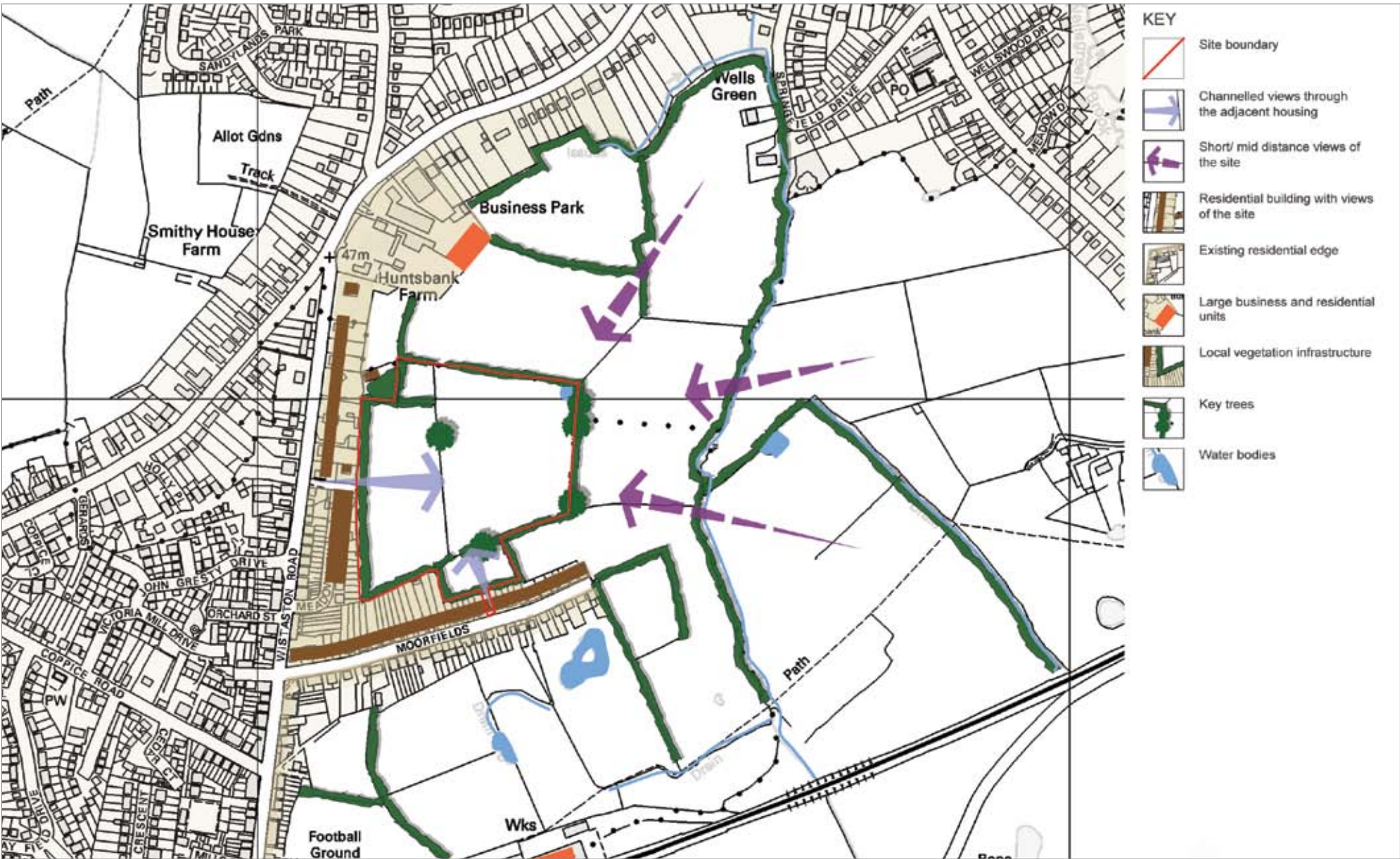
THE SITE AND ITS CONTEXT

Visual Context

As part of the initial assessment of the site a Landscape and Visual Impact Assessment was undertaken, this outlines a systematic description and analysis of the landscape resource, including physical features and elements of the landscape, and how their composition forms, distinct areas of character, appraisal of quality and sensitivity, and the potential effects of the proposed development effect on the landscape.

These elements include topography and landform, vegetation, hydrology, public access and green infrastructure.

Refer to the *Landscape and Visual Impact Assessment* produced by Pegasus for further details.



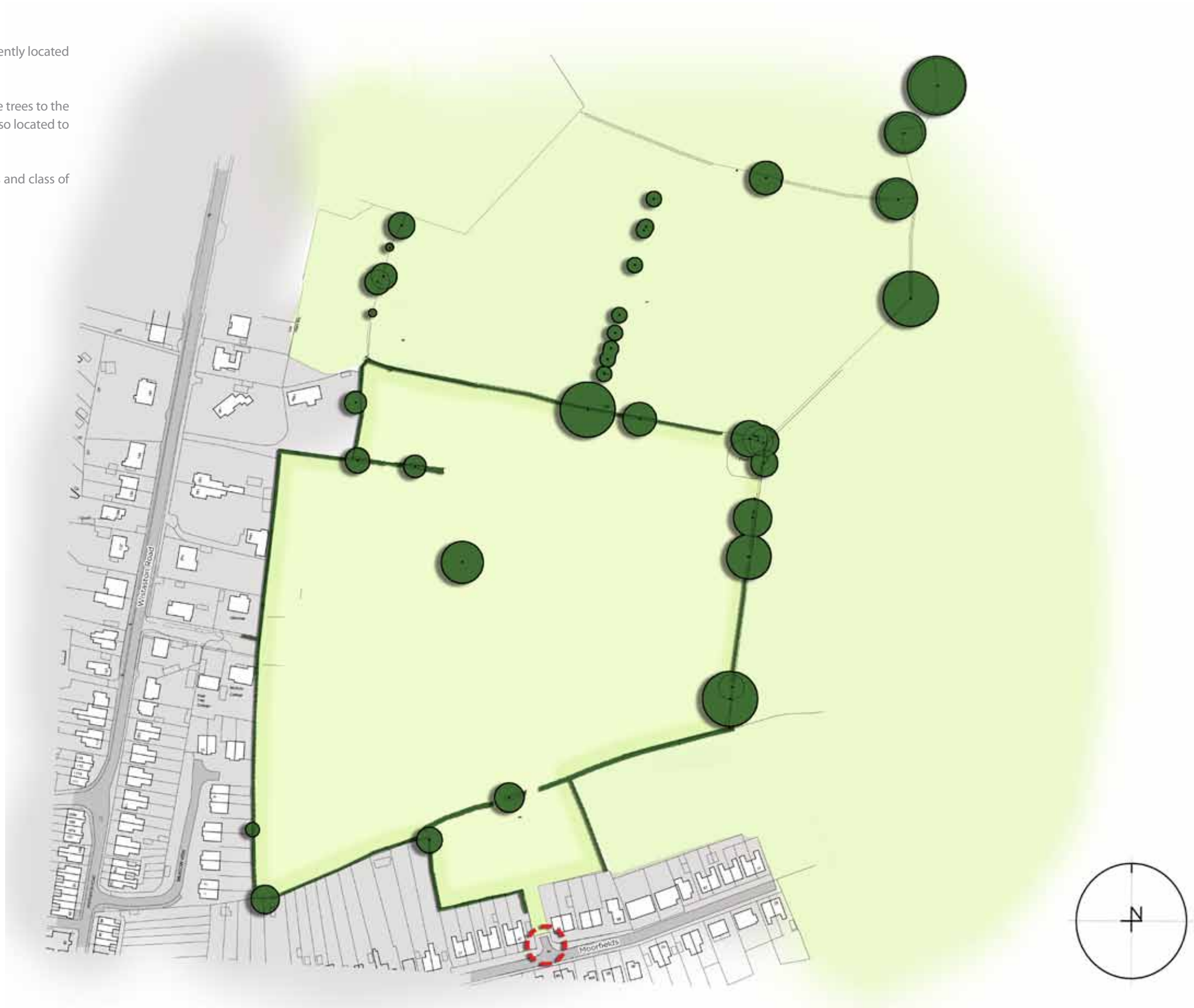
Extract of Landscape and Visual Analysis Plan.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
THE SITE AND ITS CONTEXT
Existing Trees and Hedgerow

The adjacent plan identifies the existing trees and hedgerow currently located on the site.

Mature hedgerows mark the site boundary, with scattered mature trees to the north, eastern and southern boundaries. A single mature tree is also located to the centre of the site.

Refer to the *Hedgerow Survey and Assessment* for further details and class of the existing hedgerow.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

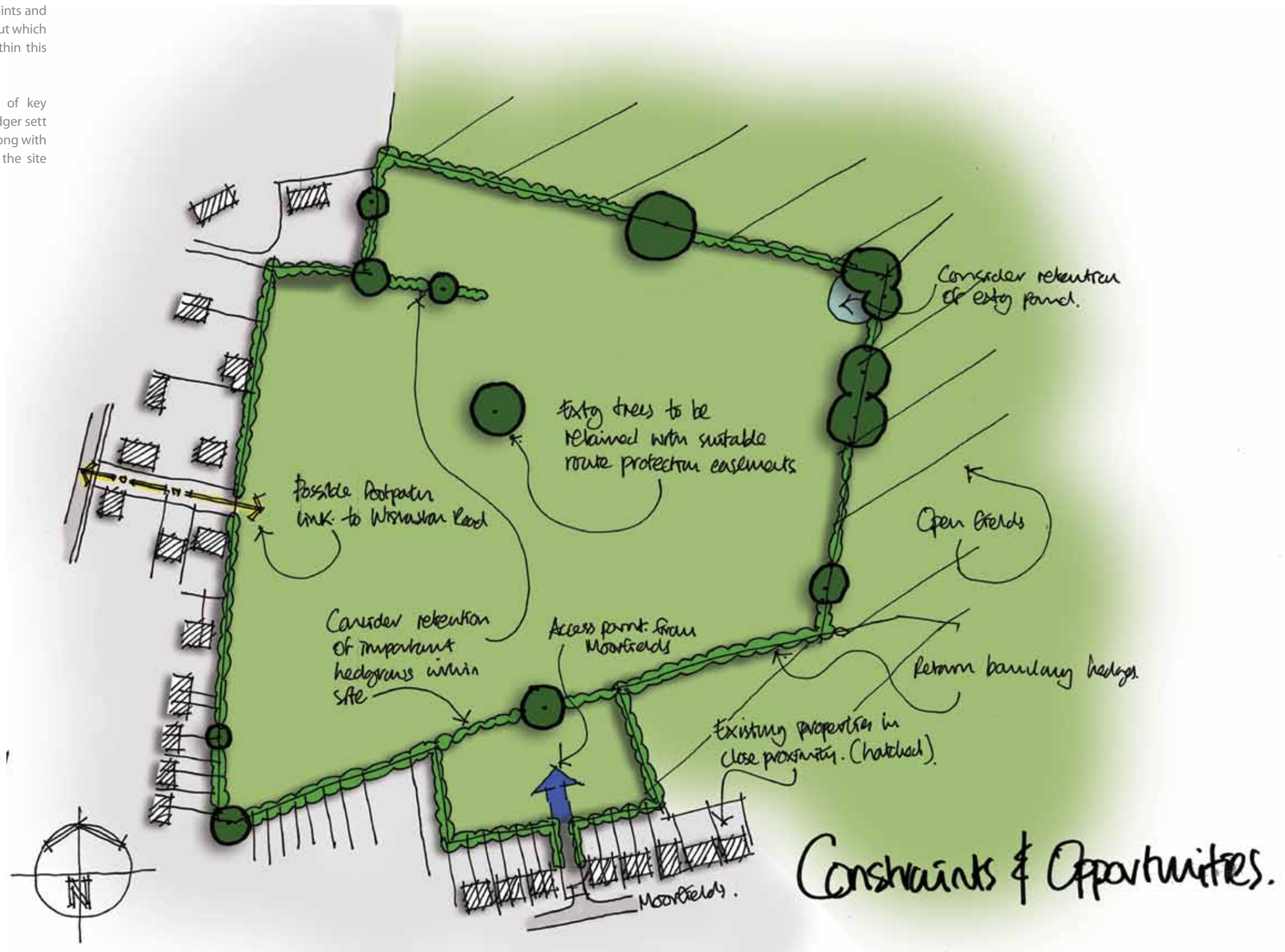
DESIGN DEVELOPMENT

Constraints & Opportunities

17

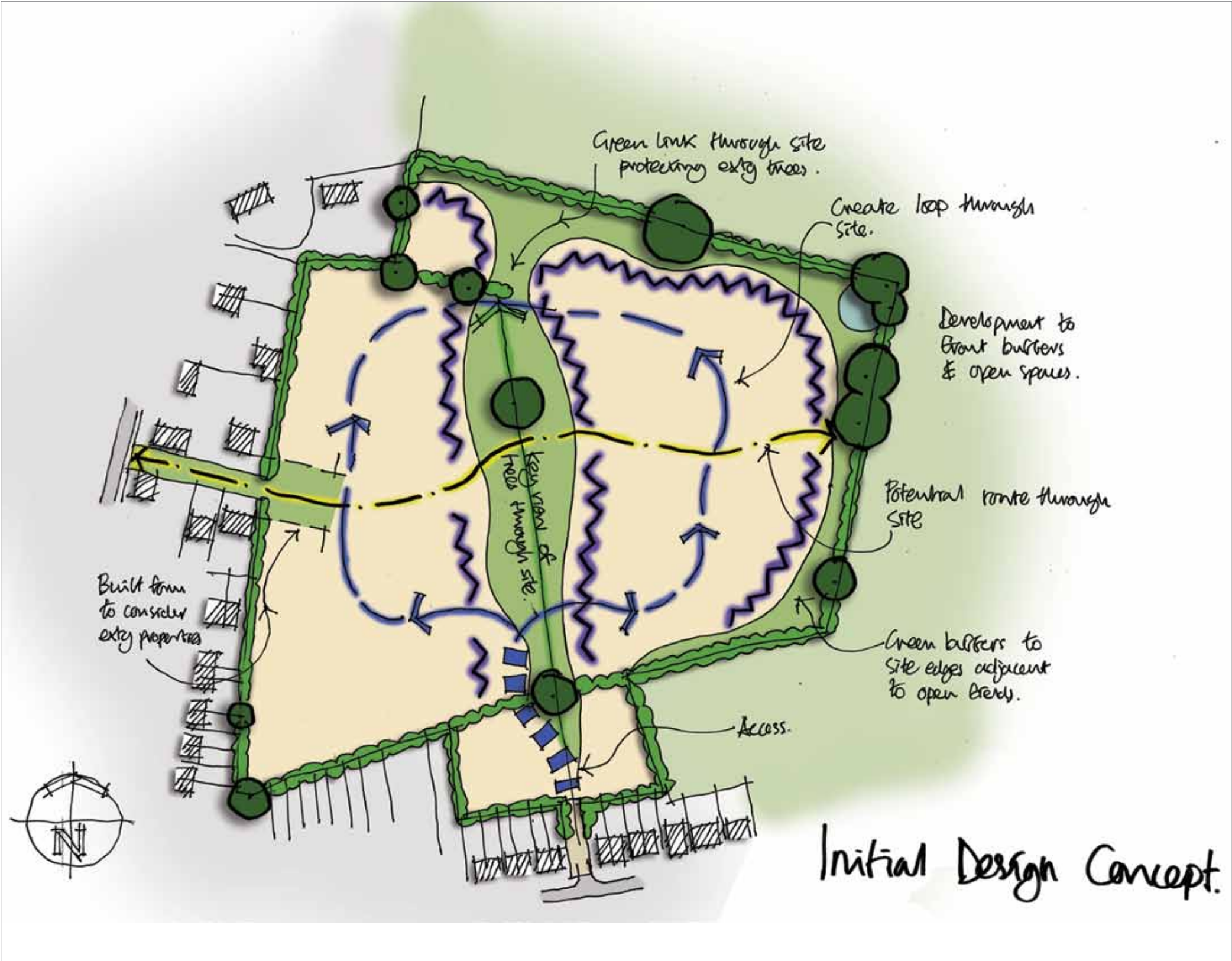
The adjacent image illustrates our initial constraints and opportunities together with the first sketch layout which formed the basis of the scheme presented within this application.

As part of the initial evaluation a number of key constraints were identified, in particular the badger sett (refer to the *Badger Survey* for further details) along with the existing trees and hedgerow which mark the site boundaries.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON
DESIGN DEVELOPMENT
Design Concept

The design concept for the indicative masterplan is illustrated on the adjacent image.





The adjacent landscape strategy provided guidance on important landscape features within the site that should be retained, and the potential for green links.

This informed the proposed masterplan and indicative site layout.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
DESIGN DEVELOPMENT
Indicative Masterplan

This is the indicative masterplan which was utilised for public consultation. The layout form is clearly demonstrated as are the landscape features, road hierarchy and links.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

DESIGN DEVELOPMENT



Community Consultation

The applicant has undertaken public consultation in advance of the submission of this planning application for up to 170 dwellings, public open space, green infrastructure and associated works.

Refer to the Consultation Statement produced by Bartonwillmore for further details.



The public exhibition was held on the 24th July 2013, at St John's Church Hall.



PUBLIC CONSULTATION EVENT

PROPOSED RESIDENTIAL DEVELOPMENT ON LAND TO THE NORTH OF MOORFIELDS, WILLASTON, CREWE



Where: St John's Church Hall, Wybunbury Road, Willaston CW5 7AF

When: Wednesday 24th July between 3.30pm and 8pm

Why: We value your views on this important development which will facilitate new housing in Willaston.

Proposed development at Wistaston Road, Willaston

Welcome to our exhibition


Welcome to our Exhibition, which is being held to present details of our exciting proposals for a new high-quality residential development on land north of Moorfields, Willaston, Crewe.

We are proposing a residential development of approximately 170 units comprising a mix of 2, 3, 4 and 5 bedroom family housing. This will include both market and affordable homes, new public open space, and the creation of a strong landscape buffer to the north and east of the Site.


Richborough Estates are specialists in bringing forward brownfield and greenfield development for residential and commercial use, and are committed to delivering responsible, sustainable development. Our goal is to respect and improve existing communities through carefully considered development.

We consider that sharing our proposals with the local community is an important part of the planning process, and something we are committed to doing. The purpose of today's event is to present details of the proposed development and to seek your opinion on the proposals before we submit an outline planning application. Your comments and our responses to them will be taken into account and documented in a Statement of Community Involvement to be submitted as part of our planning application.


Please take a few minutes to visit all our proposals, and members of our team are on hand to answer your questions.



Aerial view of the site.



Site location.



Proposed development at Wistaston Road, Willaston

The need for new housing

The National Planning Policy Framework (NPPF) requires local authorities to boost their supply of housing and to ensure that they have enough market and affordable housing to meet the needs of the local area. The NPPF identifies that housing applications should be considered in the context of the presumption in favour of sustainable development and each assessed on its own merits.


It is our consideration that Cheshire East does not have a five-year supply of deliverable housing land, and this is a common view shared amongst many in the development industry. It is identified there is a need for new housing in Cheshire East to meet future needs, as well as addressing the historic shortfall in the Borough, including affordable housing delivery. The proposals will also deliver 30% affordable housing in line with Council policy. This will help meet the needs of affordable housing in the area, and will be met through on site provision or via a financial contribution.

This new housing should be delivered in sustainable locations, and it is our view that Willaston is an appropriate location for such development.


Why is the site suitable for development?

- Well related to the existing residential settlements as located off Moorfields and Wistaston Road;
- Located in close proximity to local bus provision;
- Good access to key local services and facilities;
- Well-defined urban edge to the north, south and west;
- Located close to Crewe, providing access to jobs and key services


The site over time




The site in 1882




The site in 1938



The site in 1968



The site in 1990 - 1993



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

DESIGN DEVELOPMENT

Community Consultation

Proposed development at Wistaston Road, Willaston

3



The proposed masterplan

Key facts about the proposed masterplan:

- The development is proposed to be accessed via the existing access point off Moorfields.
- A new spine street with a green verge creates a loop through the Site, connecting various streets and squares.
- When entering the Site a north / south linear park is created, featuring existing trees as a reference point.
- Further trees and existing hedgerows are retained throughout the scheme including the standoff zone to the badger sett located on the northern boundary.
- The proposed arrangement of properties ensures landscaped buffers and housing frontages to open land.
- The proposal allows for a footpath link to Wistaston Road.
- The development comprises of approximately 170no. family dwellings. Houses will range from 2 – 4 bedrooms over 2 and 2 1/2 storeys.
- The development is an extension of the existing residential area. Our proposal will comprise of 'back to back' block patterns of housing ensuring open spaces and streets are overlooked by new housing frontages.



Richborough Estates


Proposed development at Wistaston Road, Willaston

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Access and connectivity

Vehicular access to the Site will be taken from Moorfields via a new priority junction, utilising the existing turning head point along Moorfields. This will be widened slightly and a new kerb put in place. A new footpath into the Site will also be provided alongside the new cartway.

The proposed vehicular access is shown below:




Access to local services

The Site is sustainably located in Willaston with access to the following local facilities, each within walking distance:

- Nags Head Public House (350m);
- Convenience store (650m);
- Fish & Chip Takeaway (650m);
- The Lamb Public House (700m);
- Wistaston Primary School (850m);
- Wistaston Playgroup (860m);
- Wistaston Church Lane Primary School (1,100m);
- Spar convenience store and local shops (1,100m); and
- Wells Green Post Office (1,400m).

These are shown on the local facilities adjacent plan:



Sustainable transport modes

The closest bus stops to the Site are located on Wistaston Road some 350m from the centre of the Site, with additional bus stops on Crewe Road some 500m away. These stops provide access to the following bus services:

| Service Number | Frequency (buses per hour) | | |
|----------------|----------------------------|----------|--------|
| | Weekday | Saturday | Sunday |
| 9 | 3 evening buses only | N/A | N/A |
| 78 | 1 | 1 | N/A |
| 84 | 4 | 4 | 1 |

Drainage


The Environment Agency Flood Zone mapping (next right) shows the Site to be located entirely within Flood Zone 1 (Low Probability). The mapping does not cover smaller watercourses, such as the brook to the immediate east of the Site, shown in pale blue. Further assessment of this brook has therefore been undertaken and confirms that the Site falls into the same Flood Zone 1 (low probability) category for this unnamed brook.

There are no records of flooding incidents in the Strategic Flood Risk Assessment produced for Crewe and Nantwich Borough Council in 2008. The Environment Agency has confirmed the Site is within Flood Zone 1, and there is no record of flooding affecting the Site.

Proposed Flood Risk Mitigation

The finished ground floor levels of new dwellings be raised nominally above surrounding ground levels to help mitigate the risk of pluvial flooding, sewer effluent and groundwater resurgence to the proposed dwellings.

Ground levels will also be profiled to encourage pluvial run-off and overland flows away from the built development and towards the nearest drainage point.





Surface water Drainage strategy

To mitigate the potential impacts of the proposed development, the development drainage strategy mimics existing drainage conditions (i.e. flow rates) as closely as possible.


Initial investigations have indicated that infiltration (soakaway) potential on the Site is limited, and as such it is proposed to maintain a drainage connection to the adjacent watercourse. The development run-off will be subjected to an appropriate treatment train which will be in place to remove any silt or sediment, and to ensure that the quality of surface water run-off from the Site is not compromised.

Sustainable Drainage Systems (SuDS) will be provided on Site in the form of swales; which are like wide, shallow drainage ditches and includes the retention of an existing pond. The image below shows a typical swale. Suitable planting will also be introduced to the sides of the swales to provide an attractive area of open space around the development. The swales will help direct surface water to the existing pond which will provide the attenuation storage required to offset the additional volumes produced by the proposed new hard surfacing.





Richborough Estates



Richborough Estates

Proposed development at Wistaston Road, Willaston

5

Landscaping and setting

The Site is located in an area of land partly enclosed by existing development along Wistaston Road, Moorfields and Hunsbark Business Park.

The open fields to the north and east of the Site contribute to the perceived separation of the residential areas of Willaston and Wistaston, and the importance of this gap is acknowledged and retained within the overall development strategy. The north-east corner of the Site will be retained as open space, allowing open views from within the development and retaining the visual character of the open countryside.

Green Corridor

A 'green corridor' is proposed running through the centre of the development, utilising and enhancing existing landscape elements, namely the existing trees and hedgerow network. The creation of a series of pedestrian footpaths will increase public access through the Site, providing direct access to proposed areas of public open space. It is proposed to retain key landscape features on the boundaries to further enhance the proposed development and form the framework for a new green infrastructure network.

POS

The Site is not currently publicly accessible, and access to existing areas of public open space is limited within the surrounding area. The proposals seek to deliver attractive public open spaces that provide opportunities for both formal and informal recreation which incorporate planting native species trees and shrubs to complement the countryside setting.

SUDS

A comprehensive Sustainable Urban Drainage System (SUDS) is proposed. The SUDS network will be designed to form part of a valuable resource for wildlife and the amenity of the development including opportunities for wet grass/and wildflowers.



Above: view from Moorfields



Above: view from Wistaston Road



Richborough Estates

Adjacent: presentation boards presented at the public exhibition.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

DESIGN DEVELOPMENT

Indicative Masterplan Following Community Consultation

Updated masterplan prepared following the public consultation and the pre-application meeting held with Cheshire East Council. The scheme now features more linear arrangements of properties and relocated play space. The scheme also reduces the number of plots adjacent to the proposed pedestrian link (to the west), in order to protect the amenity of the existing properties, along with additional landscape buffers which takes reference from the landscape strategy.



Schedule Of Accommodation

Site Area Gross - 15.6 A - 6.31 Ha
Public Open Space & Buffers- 2.7 A

Site Area Nett - 12.9 A

Approx Density Gross - 10.9 Units/A
Approx Density Nett - 13.1 Units/A

Approx No. of Units - 170

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

INDICATIVE SITE LAYOUT (RESERVED MATTER)

Indicative Layout

The following images are annotated with key characteristics which are a resultant of the design review of the constraints and opportunities.



1. Vehicle access into the site is proposed from the existing access point located off Moorfields to the south of the development.



2. The main access street forming the core spine of the site features footpaths both sides with green verge and structured tree planting.
- Properties feature regular build lines and private green spaces.



3. Shared surface lanes provide unrestricted movement for vehicles and pedestrians, and are designed to varying widths, providing informal access to the green edges of the built form and fronting open space.



4. An area open space provision is proposed to the northern boundary.



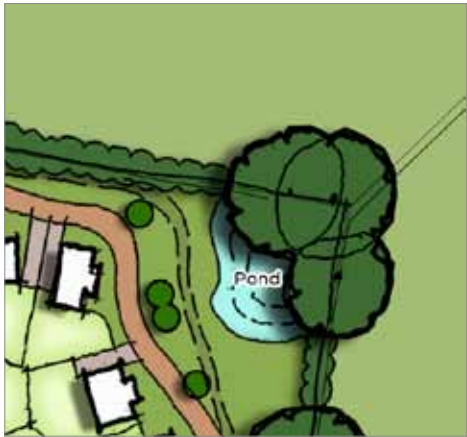
5. Houses are orientated to front onto the open space, ensuring natural surveillance.
- The central linear open space and green link features an equipped area of play.



6. Properties are orientated to front the northern and eastern boundaries, providing tranquil views across the open countryside.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
INDICATIVE SITE LAYOUT (RESERVED MATTER)
Indicative Layout

The following images are annotated with key characteristics which are a resultant of the design review of the constraints and opportunities.



7. The existing pond located to the north eastern boundary is to be retained within the open space as a feature, and a network of swales is to form part of the scheme, ensuring a optimum habitat for amphibians.



8. A north / south linear park is proposed ensuring the protection of the existing trees which will remain a main feature of the development.



9. A footpath link is proposed to the west linking to Wistaston Road.



10. The proposed layout should feature house types that appropriately address junctions and corners.



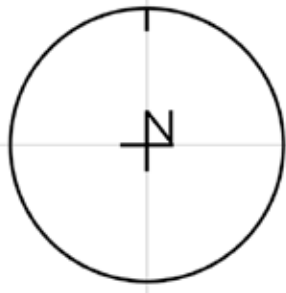
11. Prominent buildings are a feature of the layout. Building materials and details should ensure distinctiveness.



12. An informal and discreet footpath link is proposed through the green buffer.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON INDICATIVE SITE LAYOUT (RESERVED MATTER) Indicative Layout

The indicative layout demonstrates how approximately 170no. units can be developed on this site. The proposal shows a mix of semi-detached and detached properties reflecting densities and character of the surrounding area.



- Key:
- Proposed residential areas
 - Proposed informal recreational route
 - Existing trees
 - Proposed public open space and buffers
 - Proposed footpath link
 - Proposed spine street
 - Proposed shared surface lanes
 - Proposed residential access
 - Proposed Local equipped area of play
 - Existing pond to be retained

Schedule Of Accommodation

Site Area Gross - 15.6 A - 6.31 Ha
Public Open Space & Buffers- 2.7 A

Site Area Nett - 12.9 A

Approx Density Gross - 10.9 Units/A
Approx Density Nett - 13.1 Units/A

Approx No. of Units - 170

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
INDICATIVE SITE LAYOUT (RESERVED MATTER)
Green Infrastructure

The indicative site layout provides a strong green infrastructure network which includes a linear green corridor from the north to the south, and landscape buffers to character area 3, to the northern and eastern boundaries.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON
INDICATIVE SITE LAYOUT (RESERVED MATTER)
Site Access and Primary Routes

The design proposes a road hierarchy which is formal and structured to the site entrance and core of the site via a loop road, which in turn provides access to the less formal edges via shared surface lanes and private drives.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

INDICATIVE SITE LAYOUT (RESERVED MATTER)

Pedestrian Routes

Pedestrian routes are encouraged through the open space linking to the existing infrastructure, and via the proposed footpath which abuts the new spine street.

A footpath link is also proposed to western boundary linking the development and Wistaston Road and an informal route is proposed through eastern landscape buffer.





LAND TO THE NORTH OF MOORFIELDS, WILLASTON

AMOUNT

The application site is slightly rectangular in shape and is 6.31 Hectares in size, located to the south Wistaston.

The scheme should deliver circa 170 units and have a nett density of 13.1 units per acre.

Mix of Housing

The indicative layout suggests a mix of housing and buildings sizes envisaged for the site.

The scheme indicates 2, 3 & 4 bedroom properties designed as detached and semi-detached format and the overall amount is a result of layout design which in turn responds to the constraints and opportunities detailed in the previous sections and also the density and character of surrounding area.

Schedule Of Accommodation

Gross Site Area - 15.6 A / 6.31 Ha
Public Open Space & Buffers - 2.7 A

Site Area Nett - 12.9 A

Approx Density Gross - 10.9 Units/A
Approx Density Nett - 13.1 Units/A

APPROX No. OF UNITS 170No.

Affordable Housing

The scheme will seek to meet LPA requirements (up to 30%) and will be constructed throughout the development in a style consistent with the other dwellings in the development and meet the requirements agreed with a registered provider. Refer to the Affordable Housing Statement submitted as part of the application.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

AMOUNT

Density

Existing Character and Density

As previously mentioned the proposed density is reflective of the surrounding area at around 13.1 UpA.

The three main character areas considered are;

- 1. Linear form housing to the south and west.
- 2. Informal housing to the west.
- 3. Higher density housing.
- 4. Medium density larger detached and semi-detached properties

These character areas are identified on the adjacent image.

Our scheme at circa 13.1 units per acre nett is very much in keeping with existing local densities.

Development Density

Based on the indicative site layout, the breakdown of land uses are identified as follows;

Green space;
Consists of public open space and landscape buffers up to 2.7A.

Development Area;
Consists of residential properties circa 13.9A.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON
SCALE PARAMETERS (RESERVED MATTER)
Indicative Storey Heights Plan



As the proposal is for residential development, the scale and massing of the buildings should take reference from surrounding buildings which are of traditional scale.

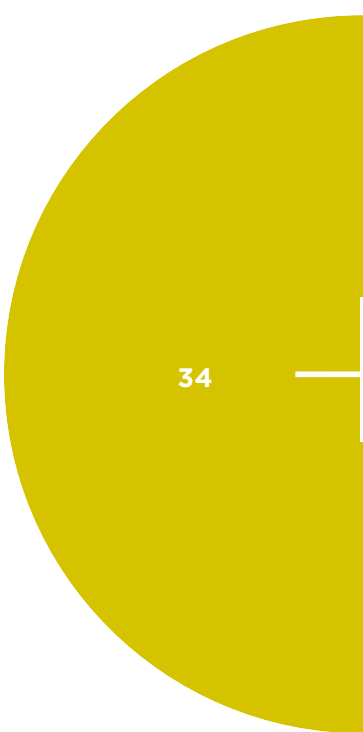
The vast majority of the scheme therefore proposes houses which are 2 storeys in height to all boundaries abutting residential properties.

To create gateways and add variety to the street scenes, up to 2.5 storey houses are proposed to the core of the development, as shown on the adjacent scale parameters plan.

Key:

| | |
|--|-------------------------------|
| | Up to 2 storey properties |
| | Up to 2 1/2 storey properties |

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
SCALE PARAMETERS (RESERVED MATTER)
Massing Study



Aerial view from the north west.



Aerial view from the north east.



Aerial view from the south east.



Aerial view from the south.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

LANDSCAPING (RESERVED MATTER)

Private gardens are a psychologically defining characteristic of a home and consequently, the majority of the dwellings are to be provided with substantial front and rear gardens.

Within the front gardens the landscaping treatment is proposed to be relatively simple and comprises of a predominately lawned area with tarmac drives (where included) and tree and shrub planting to some properties to improve visual interest in the street scene.

It is not proposed to landscape rear gardens, these being laid to lawn.

The adjacent landscape strategy plan formed the initial base of the masterplan, providing guidance on adequate locations for public open space and reinforcement of the existing vegetation.

From the landscape strategy a Linear park is proposed when entering the site from the south to the northern boundary, this will feature existing trees and provides a link through the development for wildlife. A children's play area is also a feature of this open space, buildings are orientated to front this ensuring excellent surveillance.

Landscape buffers are also proposed to the northern and eastern boundary, these also feature existing trees, encouraging the enhancement of the existing vegetation and providing a robust landscape edge.

As an outline application the proposed landscaping treatment remains indicative at this stage, and it is anticipated that at reserved matters stage, details of plant species, arrangement and hard surfacing materials will be undertaken in consultation with Landscape officers.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

APPEARANCE (RESERVED MATTER)

Placemaking

Designs should concentrate on creating successful ‘places’ for people. Building layout and style, hard and soft landscape, highway design and use of materials should all work together within the development to create a cohesive overriding character. These elements must also take account of local context to ensure that the design will fit harmoniously into its surroundings.

Architectural Quality and Style

The following broad design principles will be adopted throughout the development to ensure that the character is coherent:

Building Materials and Colour

Red brick buildings should be used to reflect the dominant building materials of traditional houses found in the local area. Strong brick or stone sills and lintels will be used as a unifying theme. Occasional use of white or cream rendered facades and tile hanging along with architectural detailing may be used to add variety and definition at key locations within the site. Rainwater goods should be either black or coloured to blend with walls. Roof tiles should generally be grey, however occasional red roof tiles may be used at selective locations to add visual interest and variety.

Building Layout

Building layout will be used to frame effective public spaces within the development and to respond directly to the landscape setting. All pedestrian routes and open spaces will be overlooked by adjacent properties. Building layout will seek to enhance the sense of place throughout the scheme, creating nodes, vistas and focal buildings. Corner buildings at street intersections should be articulated to define the corner and provide active interfaces on both sides.

Building Style and Form

Buildings will comprise a selection of detached and semi-detached properties of 2 and 2.5 storeys tall. They should respect the traditional ‘Cheshire’ building character found around the local area. The traditional built forms will be sensitively modified to deliver sustainability objectives. Elevations should be simple and regular. Varied ridge heights should be a common theme throughout the development to contribute to the semi-rural character and to add visual interest.

Front Entrances and Boundaries

Front doors and their surrounds will be given careful consideration to ensure that they establish a high quality feel to the streetscape. The design of doors will vary and will be appropriate to the style of the house. Front boundary treatments will reflect the two development character areas which are to be created.

Where rear garden boundaries abut or can be seen from the public realm, high quality boundary treatments should be used to retain visual quality within the adjacent public areas.

Development Character Areas

Two character areas are proposed within the site to create a logical change in character through the development which will fit comfortably into the surrounding area and which will enhance legibility and a sense of place within different parts of the development.

The character areas take their cue from their location within the scheme and from the areas they abut:

- Site Core
- Outer Edge

The boundaries to the character areas should not be seen as hard and fast; sometimes it may be appropriate for them to blend into one another, or at other times the design may be enhanced by a sudden change of character.

The following pages give a brief flavour of the distinguishing features of the character areas, however the guidance is not intended to be exhaustive or wholly prescriptive. It is intended to set out the character that is envisaged, and which should be taken forward as the scheme is developed through the reserved matters stage.

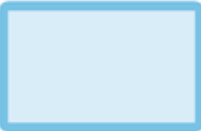


LAND TO THE NORTH OF MOORFIELDS, WILLASTON

APPEARANCE (RESERVED MATTER)

Proposed Character Areas

The adjacent plan identifies the character areas provided as guidance for the proposed development.



Character Area 1 - Linear Form:
Generally reflects the linear character of Moorfields and Wistaston Road and includes higher density housing.

Materials to this area should be uniform, reflecting the strong street form and trees. Key buildings should be distinctive.



Character Area 2 - Transitional:
Lower the density of the scheme towards the green field boundaries taking a less formal building arrangement.

Materials within this area can be more informal with differing roof and brick colours. Key buildings should be distinctive.



Character Area 3 - Informal Edge:
An appropriate edge to the development, detached houses at a maximum of 2 storeys, orientated to face the green fields defining the new urban edge.

Materials within this area can be more informal with differing roof and brick colours. Key buildings should be distinctive.



Denotes key buildings within the character areas.

Use of render and tile hanging would be encouraged at key vistas and gateway buildings throughout the development.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON APPEARANCE (RESERVED MATTER)

The design strategy is to create a cohesive sense of place that compliments the adjacent residential properties.

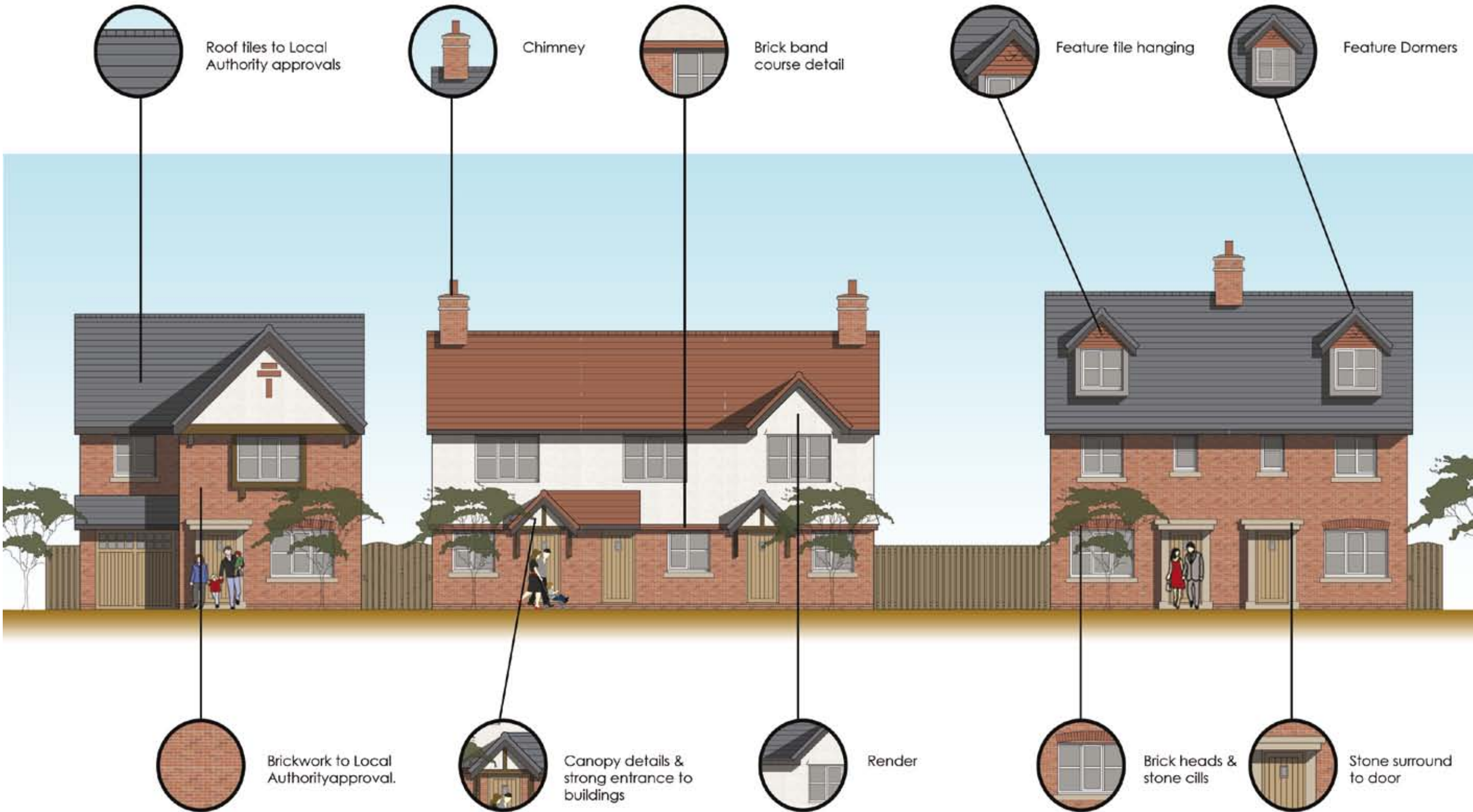
The appearance of the building will adopt a similar vernacular and palette of materials to that of the surrounding area, but have a slightly different character to provide subtle contrast and visual interest.

The street scene below demonstrates a typical built form of 2 storey and 2 1/2 storey units.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON
APPEARANCE (RESERVED MATTER)
Indicative Materials

The streetscene below indicates the indicative materials palette and appearance of the development.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON
APPEARANCE (RESERVED MATTER)
Indicative Concept Sketch



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

ACCESS AND HIGHWAYS (FOR APPROVAL)

Access

The design concept is founded on the creation of an attractive, safe and convenient network of street that supports and encourages pedestrian and cycle movement while accommodating the needs of the car and service vehicles.

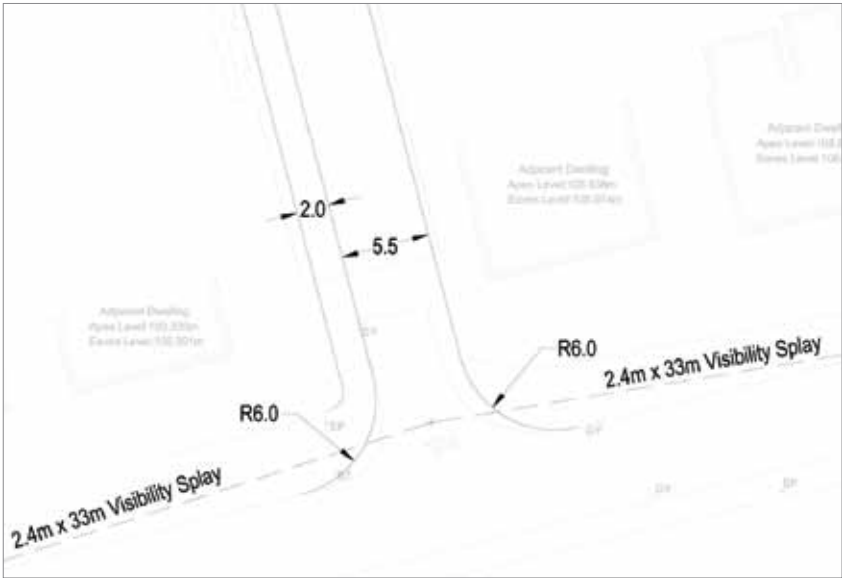
The following pages will provide an overview to the site access, together with a review of the external environment, parking, footpaths and a refuse strategy.

an existing access point which will be improved to the required adoptable standards.

The blue circle on the image below identifies the proposed site access location.

Refer to the accompanying *Transport Statement* for further details on the proposed access.

The main vehicular access to the site is to be obtained off Moorfields from



Indicative site access junction with visibility splays, refer to drawing T12514 6.1



Street view of the site access location.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

ACCESS AND HIGHWAYS (FOR APPROVAL)

Access and Parking Provision

Access

The development is accessed from Moorfields at the existing access point between to the south of the development.

A spine street is taken from this, and is to be constructed 5.5m wide with footpaths both sides. This street forms the main spine of the development and is design as a loop road. The main access streets will be designed to adopted standards.

There are further secondary shared surface lanes proposed, providing access to each dwelling and the proposed public open space.

Parking

The illustrative site layout incorporates private driveways located either to the side or to the front of the properties with parking courts for higher density areas.

Properties have been designed to overlook parking spaces to provide natural surveillance.

Pedestrian and Cycle Access

A new footpath link is proposed to the western boundary connecting the development to Wistaston Road.

Refuse

Refuse and recycling has been a design consideration during the development of this proposal. As a result, each property will be provided with a hard standing area within the rear garden of the property, to site 2no. bins and the contents of a recycling pack, in accordance with the councils approved refuse strategy.

Additionally all plots will have a gated access route from the rear garden areas to the highway at the front of the property to enable the bins to be left out on collection day.

General Access

Access to and within the public external environment is to be designed to ensure that there are no excessive changes in level between the highway and the private spaces.

Houses are constructed at a minimum of latest Building Regulations ensuring each property has level access for ease of wheel chairs. Where parking is not within curtilage, footpaths and gates are provided to ease access and create direct routes.



Above: example of indicative parking arrangements.



Above: proposed footpath link.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

ACCESS AND HIGHWAYS (FOR APPROVAL)

Highway Safety

Safety and Security

The scheme takes on board the key principles of design for safety as set out in 'Safer Places', including:

Access and Movement

Well defined routes, spaces and entrances that provide for convenient movement without compromising safety.

Surveillance

Overlooking of all publicly accessible spaces.

Ownership

Spaces that will promote a sense of ownership, respect, territorial responsibility and community.

Physical Protection

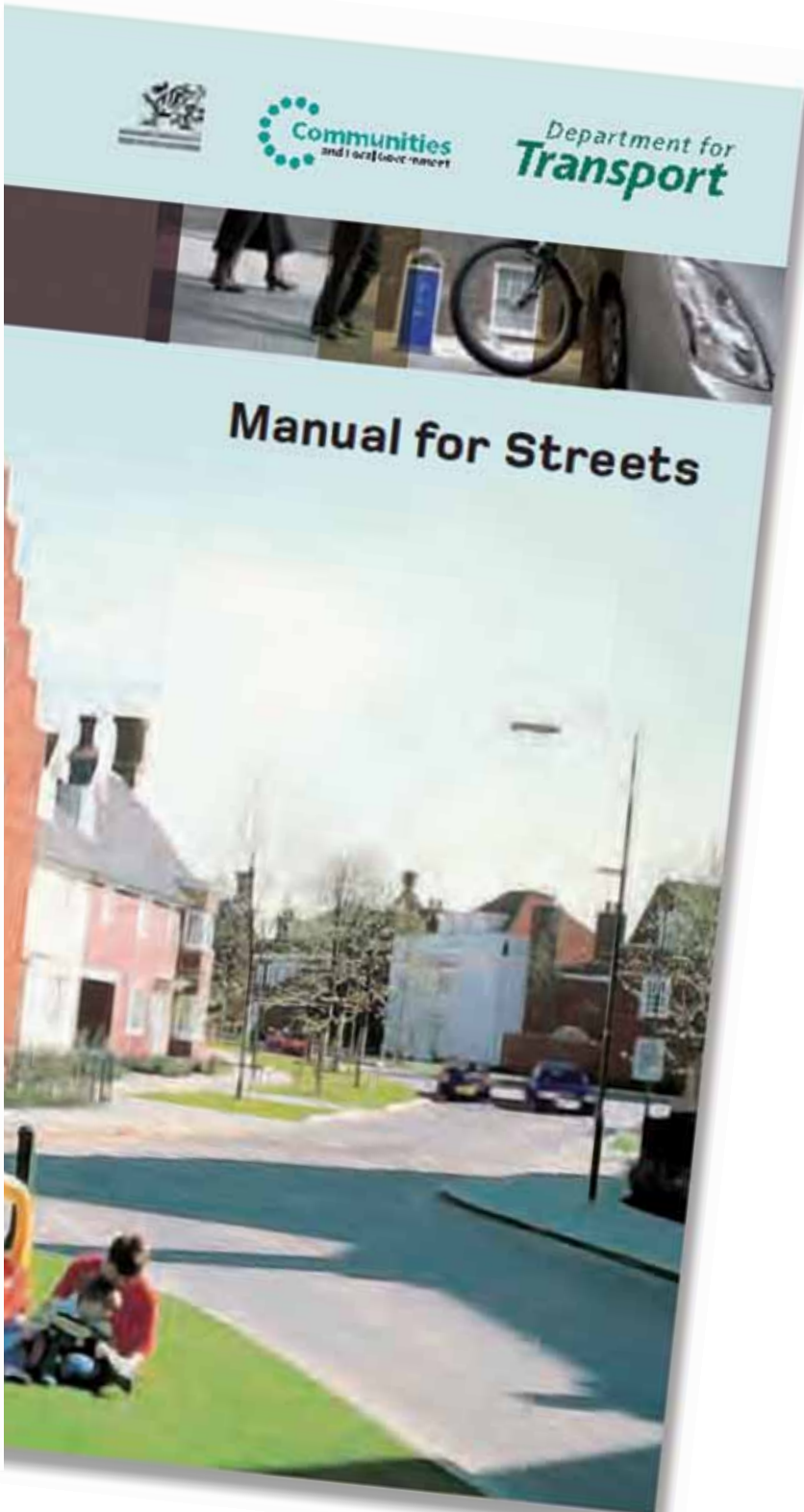
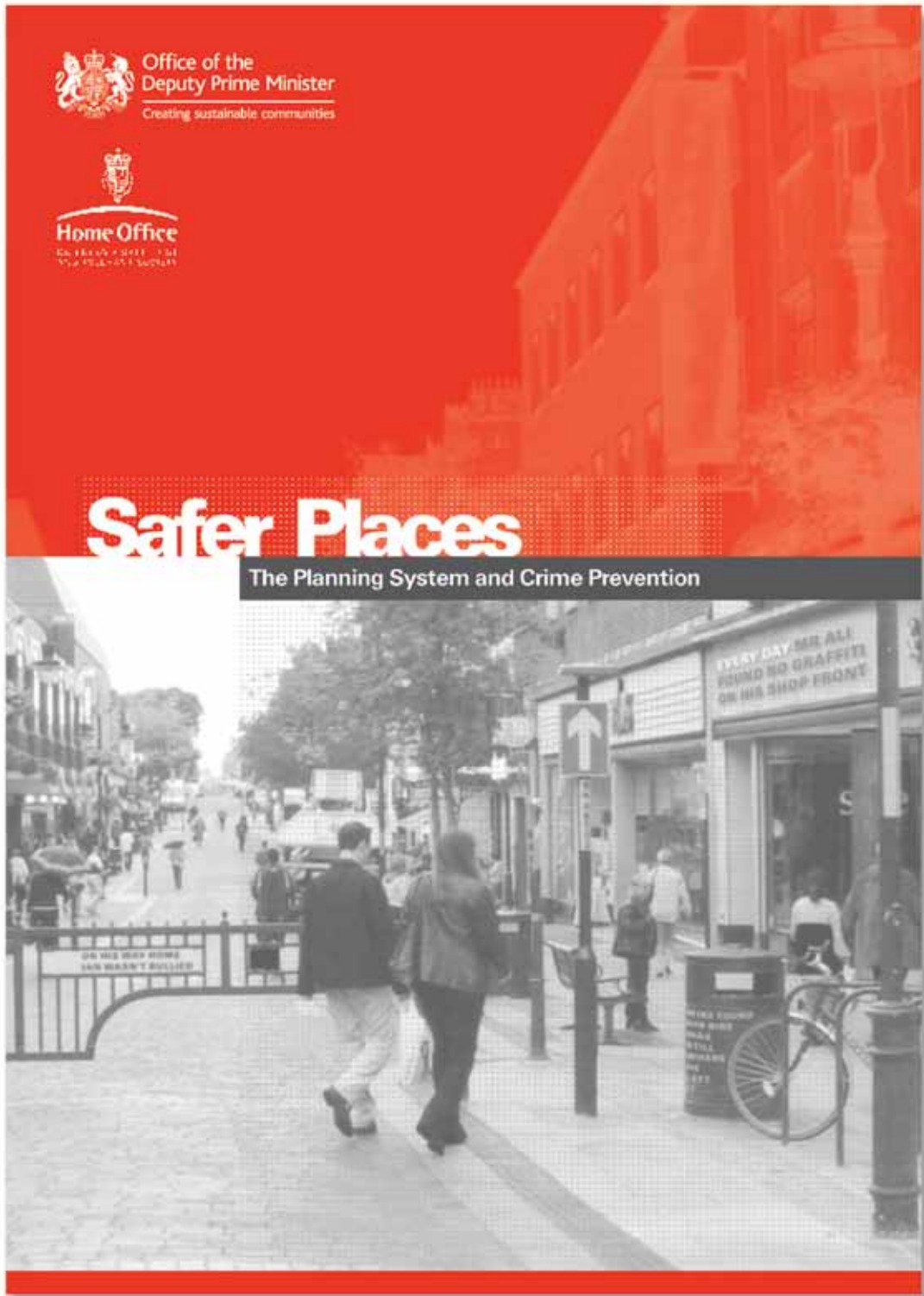
Inclusion of well designed security features such as lighting in the public realm, and security of buildings.

Activity

Outdoor public space to encourage family activity and reduce the risk of crime.

Management and Maintenance

Outdoor public spaces designed with management and maintenance in mind.



LAND TO THE NORTH OF MOORFIELDS, WILLASTON

CRIME PREVENTION

Ensuring a safe and secure living environment is a fundamental consideration in the design of any residential development. To this end the proposed development has drawn on the principles of Manual for Streets, Designing Out Crime and Secure by Design. The arrangement of buildings and public and private spaces enhance opportunities for natural surveillance.

By way of overview the following sections are provided to illustrate practical examples of crime mitigation measures and the means used to engender both actual and perceived public safety.

Footpaths, Walkways and Dedicated Cycle Routes

Through the design of our block form, natural surveillance of footpaths and walkways are proposed throughout the scheme. Footpaths will be well lit and where applicable make adequate provision for cyclists.

Front of Buildings

Active frontages face the street to maximise natural surveillance. All properties to be fitted with 5 lever mortice locks with lockable double glazed windows at all levels.

Private Spaces Behind Buildings

Private spaces behind buildings, essentially gardens, will be fenced and

access restricted to residents only.

Building Entrances

All building entrances are highly visible from the street.

Boundary Treatments

Private boundaries should include secure screen walls and boundary fencing at 1.8m high with gated access.

Whilst providing a degree of physical security, it is also most effective as a psychological deterrent to opportunistic crime.

Landscaping

Landscaping should incorporate a choice of trees and shrubs that will contribute to security by means of their density and hostility to climbing.

Public Open Space

Buildings are orientated to provide natural surveillance.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON

SUSTAINABLE DESIGN AND CONSTRUCTION

Environmental Standards Statement

The following statement will outline how the proposed development aims to achieve environmental standards.

Environmental Design

The development will be designed to meet the requirements of the current Building Regulations, specifically the requirements for Approved Document Part L – Conservation of Fuel and Power, and Part F – Ventilation, ensuring good levels of heat retention and ventilation are achieved.

Energy Efficiency

The dwellings will be designed to have high standards of energy efficiency by limiting the heat loss across the building envelope, in order to minimise the overall energy demand in line with the requirements of the Building Regulations Approved Document Part L.

Water Management and Weather Resilience

The site is situated in an area of low probability of annual flooding as detailed on the environment agency flood map. The site drainage design will avoid, reduce and delay the discharge of rainfall to public sewers and watercourses. This will protect the watercourses and reduce the risk of local flooding, pollution and other environmental damage.

Waste Management

The development will make adequate provision for the internal and external storage of non-recyclable and recyclable household waste.

Conclusion

As a whole, the development will be designed to meet the current Building Regulation requirements and will therefore achieve national standards of energy efficiency and ventilation.

LAND TO THE NORTH OF MOORFIELDS, WILLASTON
SUSTAINABLE DESIGN AND CONSTRUCTION
Drainage / Surface Water Drainage Strategy / Air Quality

Drainage

The Environment Agency Flood Zone mapping (exert right) shows the Site to be located entirely within Flood Zone 1 (Low Probability). The mapping does not cover smaller watercourses, such as the brook to the immediate east of the Site, shown in pale blue. Further assessment of this brook has therefore been undertaken and confirms that the Site falls into the same Flood Zone 1 (low probability) category for this unnamed brook.

There are no records of flooding incidents in the Strategic Flood Risk Assessment produced for Crewe and Nantwich Borough Council in 2008. The Environment Agency has confirmed the Site is within Flood Zone 1, and there is no record of flooding affecting the Site.

Proposed Flood Risk Mitigation

The finished ground floor levels of new dwellings should be raised nominally above surrounding ground levels to help mitigate the risk of pluvial flooding, sewer exceedence and groundwater resurgence to the proposed dwellings.

Ground levels will also be profiled to encourage pluvial run-off and overland flows away from the built development and towards the nearest drainage point.

Surface Water Drainage Strategy

To mitigate the potential impacts of the proposed development, the development drainage strategy mimics existing drainage conditions (i.e. flow rates) as closely as possible.

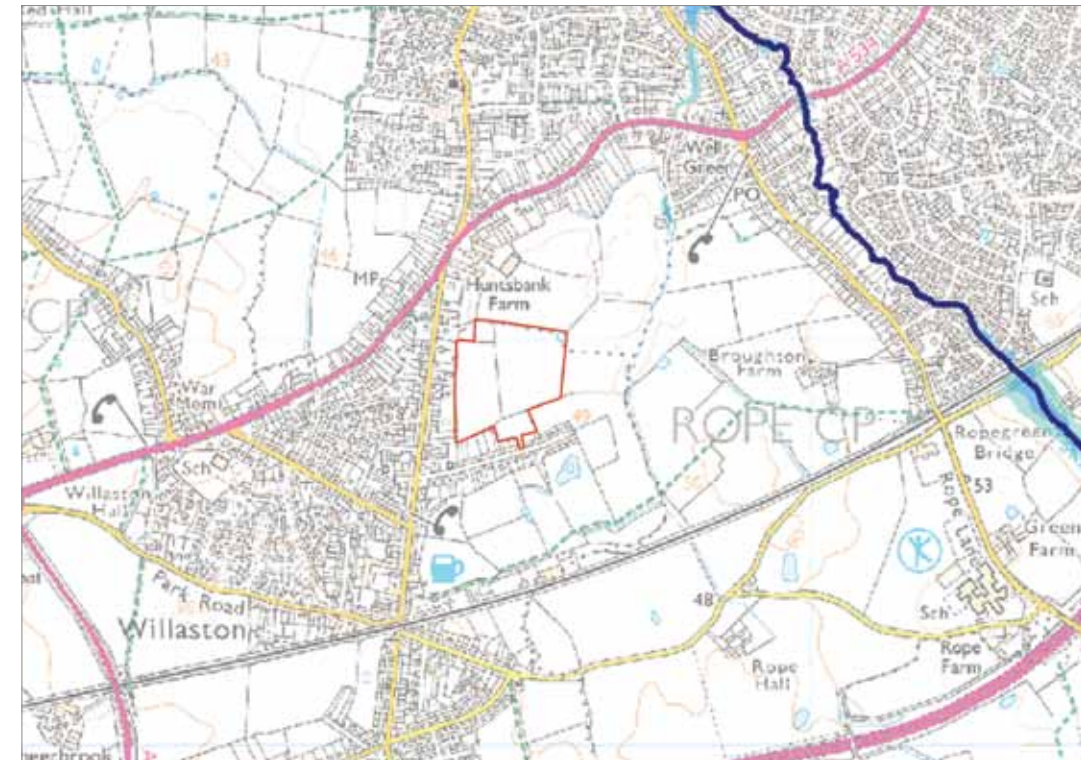
Initial investigations have indicated that infiltration (soakaway) potential on the Site is limited, and as such it is proposed to maintain a drainage connection to the adjacent watercourse. The development run-off will be subjected to an appropriate treatment train which will be in place to remove any silt or sediment, and to ensure that the quality of surface water run-off from the Site is not compromised.

Sustainable Drainage Systems (SuDS) will be provided on Site in the form of swales; which are like wide, shallow drainage ditches and includes the retention of an existing pond. The adjacent image shows a typical swale.

Suitable planting will also be introduced to the sides of the swales to provide an attractive area of open space around the development. The swales will help direct surface water to the existing pond which will provide the attenuation storage required to offset the additional volumes produced by the proposed new hard surfacing.

Air Quality

The site is not located within an Air Quality Management zone, therefore no further assessment is required.



Above: extract of Environment Agency Map (site highlighted red).



Above: example of swales

LAND TO THE NORTH OF MOORFIELDS, WILLASTON CONCLUSION

The form and arrangement of space, buildings and routes have been developed on sound urban design principles with a view to creating a cohesive, legible and attractive new residential area.

Dwelling types have been conceived to meet local need and provide aspirational new houses that will satisfy market requirements.

Although the site is 'greenfield', it is situated in a highly sustainable location and is considered appropriate for the proposed residential development.

